

1.	THE WORD "CONTRACTOR" MEANS THE GENERAL CONTRACTOR AND, WHERE APPLICABLE BY TRADE, SUBCONTRACTORS.	24.	THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS UNDER THE CONTRACT. AT COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE FROM AND ABOUT THE PROJECT WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS.	2.	CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR ITS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
2.	CONTRACTOR SHALL BE RESPONSIBLE FOR VIEWING ALL NOTES PRIOR TO FINALIZING CONSTRUCTION CONTRACT.	25.	THE CONTRACTOR SHALL PROVIDE THE OWNER AND CORSINI ARCHITECTS ACCESS TO THE WORK IN PREPARATION AND PROGRESS WHEREVER LOCATED.	3.	SLIDING GLASS DOORS AND WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6731 AND 91.6732.
3.	THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE LOCAL BUILDING CODE, NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING AND MECHANICAL CODES AND ANY APPLICABLE STATE AND LOCAL CODES. THE GENERAL CONTRACTOR SHALL MAINTAIN AT THE SITE ONE RECORD COPY OF THE DRAWINGS, SPECIFICATION, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATION IN GOOD ORDER AND MARKED CURRENT TO RECORD CHANGES AND SELECTIONS MADE DURING CONSTRUCTION, AND IN ADDITION APPROVED SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR REQUIRED MATERIALS.	26.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.	4.	SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
4.	CONTRACTOR SHALL VERIFY ALL WORK, DIMENSIONS AND DETAILS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT PRIOR TO COMMENCING WORK. DURING CONSTRUCTION THE ARCHITECT IS ALSO TO BE ADVISED REGARDING ANY DISCREPANCIES IN MEASUREMENT, DIMENSIONS, LOCATIONS OR DETAILS PRIOR TO CONTRACTOR'S PROCEEDING WITH THAT PORTION OF WORK. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE VERIFIED FOR SQUARE IN LAYOUT AND PLUMB IN VERTICAL CONSTRUCTION. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO CORSINI ARCHITECTS AT ONCE.	27.	THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS FOR SAFETY OFF, AND SHALL PROVIDE REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: A. EMPLOYEES ON THE WORK AND OTHER PERSONS WHO MIGHT BE AFFECTED THEREBY. B. THE WORK AND MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN. C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, SUCH AS TREES, SHRUBS, LAWNS, DRIVEWAYS, PAVEMENTS, ROADWAYS, STRUCTURES AND UTILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION, OR REPLACEMENT ON THE COURSE OF CONSTRUCTION.	5.	LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.
5.	WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS ON DRAWINGS. IN NO EVENT IS A DIMENSION TO BE SCALED OFF A DRAWINGS WITHOUT FIRST ADVISING THE ARCHITECT.	28.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.	6.	OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES, IN G OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSSBARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED HARDENED STEEL CLASPS.
7.	DETAILS ARE INTENDED TO SHOW THE FINAL EFFECT OF PARTS OF CONSTRUCTION. MINOR MODIFICATIONS MAYBE REQUIRED TO SUIT PARTICULAR JOB SITE DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED WITHIN THE SCOPE OF THE WORK. ANY MODIFICATIONS REQUIRED ARE TO BE FIRST REVIEWED AND CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.	29.	IF A PORTION OF THE WORK IS COVERED CONTRARY TO THE REQUEST OF CORSINI ARCHITECTS, OR TO THE REQUIREMENTS SPECIFICALLY EXPRESSED IN THE CONSTRUCTION DOCUMENTS, IT MUST, IF REQUIRED IN WRITING BY CORSINI ARCHITECTS BE UNCOVERED FOR OBSERVATION OF CORSINI ARCHITECTS.	7.	SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8' OF A UTILITY POLE OR SIMILAR STRUCTURE.
8.	CONTRACTOR SHALL KEEP PREMISES SECURE, CLEAN AND HAZARD FREE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HIS EQUIPMENT, MATERIALS, AND WORK IN NEAT, CLEAN, ORDERLY, AND SAFE CONDITION AT ALL TIMES.	30.	THE CONTRACTOR SHALL PROMPTLY CORRECT WORK REJECTED BY CORSINI ARCHITECTS OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, WHETHER OBSERVED BEFORE OR AFTER SUBSTANTIAL COMPLETION AND WHETHER OR NOT FABRICATED, INSTALLED OR COMPLETED. THE CONTRACTOR SHALL BEAR COSTS OF CORRECTING SUCH REJECTED WORK, INCLUDING ADDITIONAL TESTING AND INSPECTIONS AND COMPENSATION FOR THE SERVICES AND EXPENSE OF CORSINI ARCHITECTS MADE NECESSARY THEREBY.	8.	EXTEND SECURITY SYSTEM TO NEW FIRST AND SECOND FLOOR DOOR & WINDOWS. PROVIDE KEYPAD ON 2ND FLOOR.
9.	CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTION AGAINST ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS ARISING IN CONNECTION WITH CONSTRUCTION.		FRAMING:	9.	EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
10.	CONTRACTOR SHALL DEMOLISH EXISTING CONSTRUCTION AS NECESSARY TO INSTALL NEW WORK, AND REMOVE ALL EXCESS DEBRIS AND MATERIALS, NOT REQUIRED BY CONSTRUCTION OR REQUESTED BY OWNER.	1.	PRIOR TO FORMING AND POURING CONCRETE, CONTRACTOR SHALL STAKE OUT ALL FOUNDATIONS AND PERIMETER WALL LINES AS SHOWN ON PLANS FOR ARCHITECT'S REVIEW, CONFIRM EXISTING STRUCTURE AND PROPERTY LINE LOCATIONS, AND VERIFY PROPER SETBACKS AND CLEARANCES REQUIRED BY LOCAL CODES.	10.	INACTIVE LEAF OF PAIR OF DOORS SHALL BE SECURED WITH MANUALLY OPERATED HARDENED BOLTS AT TOP AND BOTTOM OF LEAF. 1/2" MINIMUM EMBEDMENT.
11.	CONTRACTOR SHALL REVIEW ALL ITEMS NOTED "VERIFY" WHICH MIGHT AFFECT COSTS PRIOR TO FINALIZING CONSTRUCTION CONTRACT AND SUBCONTRACTS, AND SHALL CONFIRM FINAL DECISIONS REGARDING SELECTION, MATERIALS, COLOR, FINISH, OR OTHER SPECIFICATIONS NOT YET DECIDED REGARDING THESE ITEMS. CONTRACTOR SHALL INCLUDE THE COSTS OF THESE ITEMS WITHIN THE FINAL CONTRACT PRICE.	2.	THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO ISSUANCE OF A BUILDING OR GRADING PERMIT. (HSC 17922.5, EFF. 2/8/78)		DESIGN-BUILD NOTES
12.	UNLESS ITEMS ARE SPECIFICALLY ITEMIZED AS NOT INCLUDED IN CONTRACT (N.I.C.) THEY WILL BE ASSUMED TO BE INCLUDED IN THE ESTIMATE OR CONTRACT PRICE.	3.	CONTRACTOR SHALL PROVIDE CRAWL SPACE ACCESS AND VENTILATION IN ACCORDANCE WITH LOCAL CODES AND SHALL NOTIFY ARCHITECT OF ANY CHANGES TO THE DRAWINGS.	1.	ELECTRICAL WORK SHALL BE DESIGN-BUILD AND SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN THE TITLE 24 REPORT.
13.	ALL ALLOWANCE ITEMS SHALL BE SPECIFICALLY IDENTIFIED AS ALLOWANCES AND INCLUDED IN THE CONTRACT PRICE.	4.	ANY LANDSCAPE OR PLANTER RETAINING WALLS WHICH ARE SPECIFIED WITHOUT PERIMETER DRAINS SHALL BE PROVIDED WITH ADEQUATE WEEP HOLES AT BASE OF WALL.	2.	MECHANICAL & PLUMBING WORK SHALL BE DESIGN-BUILD AND SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN THE TITLE 24 REPORT.
14.	CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF ANY EXTRA COSTS ARISING FROM THE EXECUTION OF HIS CONTRACT OR SUBCONTRACTS AND SHALL RECEIVE OWNER'S WRITTEN APPROVAL OF EXTRA COSTS PRIOR TO COMMENCING THE WORK.	5.	ALL CONCRETE SLABS TO BE PARTIALLY REMOVED SHALL FIRST BE NEATLY SAWCUT.	3.	DESIGN FOR COMPLETE MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
15.	CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT IN WRITING OF ANY DELAYS OR CHANGES IN SCHEDULE AND RECEIVE OWNER'S WRITTEN APPROVAL OF SAME.	6.	PATCHING OF CONCRETE SLABS SHALL BE PERFORMED SO AS TO LEAVE THE PATCH SURFACE SMOOTH, LEVEL, AND TIGHTLY JOINED TO THE EXISTING SLAB.	4.	FIRE SPRINKLERS SHALL BE DESIGN-BUILD AND SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN THE TITLE 24, 310.9.1 REGARDING FIRE WARNING SYSTEMS
16.	CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING THAT ALL GENERAL AND SUBCONTRACT WORK IS BEING ACCOMPLISHED ACCORDING TO THE MOST CURRENT CONSTRUCTION DOCUMENTS, INCLUDING REVISIONS.	7.	CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF ALL FINISHED GRADE SURFACES, SIDEWALKS AND PATIOS AWAY FROM STRUCTURES AND VERIFY THAT ALL AREAS AFFECTED BY CONSTRUCTION ARE PROPERLY DRAINED, WITH NO PONDING.		
17.	UNLESS OTHER ARRANGEMENTS ARE MADE, OWNER SHALL PROVIDE ADEQUATE PROPERTY AND LIABILITY INSURANCE IN ADDITION TO CONTRACTOR'S INSURANCE TO COVER ALL NEW WORK. THIS INSURANCE SHALL INCLUDE THE INTERESTS OF THE OWNER AND CONTRACTOR IN THE WORK, BUT SHALL NOT RELIEVE CONTRACTOR OF HIS RESPONSIBILITIES UNDER THE CONTRACT OR AS ITEMIZED ABOVE.	8.	GENERAL CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING TREES AND LANDSCAPING WHICH DO NOT CONFLICT WITH NEW CONSTRUCTION, AND SHALL ADVISE OWNER PRIOR TO CONSTRUCTION OF ANY LANDSCAPING TO BE REMOVED.		
18.	CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AT TIME OF ARRIVAL OF ANY DAMAGED OWNER-SUPPLIED MATERIALS.	9.	CONTRACTOR SHALL REMOVE ALL EXCAVATED OR EXCESS SOIL, DEBRIS AND MATERIALS NOT REQUIRED TO CONSTRUCTION. CONFIRM ANY ITEMS TO REMAIN WITH ARCHITECT AND OWNER PRIOR TO START OF CONSTRUCTION.		
19.	CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES ON THE JOB SITE	10.	COMPLETE NEW LANDSCAPING AND AUTOMATIC SPRINKLER SYSTEM OR SEVEN DAY TIME CLOCK BY OTHER. GENERAL CONTRACTOR TO COORDINATE DRAINAGE LINES AND FINAL CONSTRUCTION NOT TO DISRUPT THIS WORK. (VERIFY W/ OWNER)		
20.	THE WORKING DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED PROJECT AND DO NOT INDICATE METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF CORSINI ARCHITECTS SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY CORSINI ARCHITECTS DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH IS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY CORSINI ARCHITECTS, WHETHER OF MATERIAL WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMITY WITH THE CONSTRUCTION DOCUMENTS, BUT DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUCTED AS SUPERVISION OF CONSTRUCTION.	11.	SEE STRUCTURAL NOTES AND DRAWINGS FOR ADDITIONAL INFORMATION.		
21.	THE CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT TO CORSINI ARCHITECTS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY THE CONSTRUCTION DOCUMENTS WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR ACTIVITIES OF THE OWNER OR OF SEPARATE CONTRACTORS.		GENERAL NOTES: SECURITY		
22.	SUBMITTALS AND/OR SHOP DRAWINGS ARE REQUIRED FOR THE FOLLOWING: ALL DESIGN-BUILD PLUMBING, MECHANICAL, AND ELECTRICAL WORK, INCLUDING PRODUCT DATA FOR EQUIPMENT AND FIXTURES. ROOFING, CONCRETE BLOCK, INTEGRALLY-COLORED CONCRETE, EXTERIOR PLASTER, PAINT, SEALERS AND COATINGS, PLASTIC LAMINATE, FINISH MILLWORK, CERAMIC TILE, ALUMINUM STOREFRONT, CUSTOM NEON SIGNAGE, ALLEY GATES, AND DOOR HARDWARE.		ALL OPENINGS MARKED ARE SECURITY OPENINGS, AND THE FOLLOWING NOTES SHALL APPLY:		
23.	THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONSTRUCTION DOCUMENTS AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIAL OR EQUIPMENT.		1. SWINGING DOORS		
			A) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.		

2014 County of Los Angeles Building Code (Title 26) Based on the 2013 California Building Code and the 2012 International Building Code

2014 County of Los Angeles Electrical Code (Title 27) Based on the 2013 California Electrical Code and the 2011 National Electrical Code

2014 County of Los Angeles Plumbing Code (Title 28) Based on the 2013 California Plumbing Code and the 2012 Uniform Plumbing Code

2014 County of Los Angeles Mechanical Code (Title 29) Based on the 2013 California Mechanical Code and the 2012 Uniform Mechanical Code

2014 County of Los Angeles Residential Code (Title 30) Based on the 2013 California Residential Code and the 2012 International Residential Code

2014 County of Los Angeles Green Building Standards Code (Title 31) Based on the 2013 California Green Building Standards Code

FRONT AVERAGE SETBACK CALCULATION

N. MAR VISTA AVE

E. WOODBURY RD.

N. MICHIGAN AVE

AVERAGE SETBACK CALCULATION	
#1138	- 17'-7"
#1148	- 18'-0"
#1162	- 32'-6"
#1176	- 32'-6"
#1184	- 32'-7"
#1188	- 58'-0"
#1200	- 34'-11"
#1212	- 34'-11"
#1220	- 17'-5"
278'-5"	
278.4/9 = 30.9'	

PROJECT LOCATION

SCALE: NTS

<div>PROJECT SUMMARY</div> <div>SCOPE OF WORK</div>	
<div>OWNERS: ERIC & ELISA CALLOW 965 ORANGE GROVE BLVD #101 PASADENA, CA 91105 P: 818 219 2276</div> <div>LEGAL DESCRIPTION: 1200 E. WOODBURY ROAD, ALTADENA, CALIFORNIA LOT 2, BRITTONS TRACT, AS PER MAP RECORDED IN BOOK 13 PAGE 6 OF MAPS RECORDS OF LOS ANGELES COUNTY, A.P.N.# 5849-015-003</div> <div>SITE ZONING: R-1-7500 ZONE ALTADENA CSD LAND USE: LD HIGH FIRE: NO</div> <div>TYPE OF CONSTRUCTION: TYPE V-B OCCUPANCY GROUP: R3</div> <div>TOTAL LOT AREA: 8,262.9 SF ALLOWED BUILDABLE AREA: 3,065.7 SF BUILDING AREA: GROUND LEVEL: 1,476 SF BASEMENT LEVEL: 929 SF MECHANICAL BASEMENT: 248 SF TOTAL : 2,653 SF</div> <div>BUILDING FOOTPRINT: 2,762 SF LOT COVERAGE: 33%</div> <div>PARKING: 2 SPACES (CARPORT/GARAGE)</div> <div>SETBACKS FRONT: 31'-0" (AVERAGE) SIDE: 5'-6" (10% OF LOT WIDTH 56.05') REAR: 25'-0"</div> <div>MAX HT ALLOWED: 30'-0" BLDG. HEIGHT: 21'-0"</div> <div>FULLY SPRINKLERED: YES (NFPA)</div> <div>ITEMS REQUIRING R-1 PERMIT: OAK TREE PERMIT</div>	<div>NEW DRIVEWAY APPROACH/APRON & NEW DRIVEWAY. DRIVEWAY TO SLOPE/INCLINE FROM SIDEWALK TOWARDS TRASH ENCLOSURE. DRIVEWAY FINISH AT OAK TREE CANOPY AREAS WILL BE PERMEABLE (PAVERS & GRAVEL) AND CONCRETE AT REMAINDER OF DRIVEWAY.</div> <div>PARTIAL RECONFIGURATION OF PERMITTED FENCE ON WEST PROPERTY LINE. TOP OF CMU BLOCK WALL WILL BE RAISED TO 200.72 FROM APPROVED HEIGHT OF 196.21 & FENCE TOPPED WITH STEEL TUBE AND GALVANIZED CABLE GUARDRAIL, RATHER THAN STEEL TUBE & SOLID WOOD PLANKING.</div> <div>PERMITTED FENCE WORK TO REMAIN PER: PERMIT: RPP 2014007111 AMENDMENT PROJECT: R2014-01840</div>
<div>LEGEND</div> <div>SHEET INDEX</div>	
<div> NORTH ARROW</div> <div> BUILDING SECTION reference# sheet#</div> <div> W S N E INTERIOR ELEVATION reference# sheet#</div> <div> XX XX.XX DETAIL REFERENCE reference# sheet#</div> <div> XX ROOM NUMBER</div> <div> XX DOOR NUMBER</div> <div> XX WINDOW NUMBER</div> <div> XX KEY NOTE</div> <div> FF-XX FLOOR FINISH NUMBER</div> <div> WF-XX WALL FINISH NUMBER</div> <div> CF-XX CEILING FINISH NUMBER</div> <div> MF-XX MILLWORK FINISH</div> <div> 1 REVISION NUMBER</div> <div> XX'-XX" A.F.F. ELEVATION INDICATOR</div> <div> MATERIAL CHANGE</div> <div> 2 A4.05 DETAIL CALLOUT</div>	<div>A0.01 NOTES A0.30 EXISTING CONDITIONS PHOTOGRAPHS</div> <div>ARCHITECTURAL DRAWINGS</div> <div>A1.00 SITE PLAN</div> <div>A3.01 EXTERIOR ELEVATIONS A3.02 EXTERIOR ELEVATIONS</div> <div>A4.00 SECTION/ELEVATIONS & DETAILS A4.01 SECTION/ELEVATIONS & DETAILS</div>

PROJECT 14.000.06



FRONT ELEVATION FROM WOODBURY RD SHOWING E & W NEIGHBORS



VIEW OF WEST NEIGHBOR FROM REAR YARD



VIEW OF REAR ELEVATION FROM DETACHED GARAGE



VIEW OF REAR YARD FROM HOUSE

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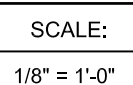
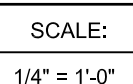
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#	SUBMISSIONS / REVISIONS	DATE
	OAK TREE PERMIT SUBMITTAL	06.25.2014
	SITE PLAN REVIEW SUBMITTAL	07.03.2014
	PLAN CHECK SUBMITTAL	08.27.2014
	GRADING SUBMITTAL	08.28.2014
	OAK TREE PERMIT RESUBMITTAL	09.24.2014
	FIRE PREVENTION DIVISION SUBMITTAL	11.18.2014
	GEOTECH & MATERIALS DIVISION SUBMITTAL	11.18.2014
	SITE PLAN REVIEW RESUBMITTAL	11.20.2014
	GRADING RESUBMITTAL	12.04.2014
	PLAN CHECK RESUBMITTAL	12.09.2014
	SITE PLAN REVIEW RESUBMITTAL	12.16.2014
	FIRE PREVENTION DIVISION RESUBMITTAL	12.18.2014
	SITE PLAN / OAK TREE REVIEW RESUBMITTAL	12.24.2014
	COUNTY SANITATION DISTRICT SUBMITTAL	01.06.2015
	LAND DEVELOPMENT DEPARTMENT SUBMITTAL	01.13.2015
	PERMIT SET	01.28.2015
	RETAINING WALL SUBMITTAL	02.09.2015
	FOUNDATION PERMIT SUBMITTAL	03.12.2015
	PLANNING FENCE REVISION SUBMITTAL	04.08.2015
	BS FENCE REVISION SUBMITTAL	05.11.2015
	DRIVEWAY SUBMITTAL	12.08.2015

PROJECT TITLE :
**CALLOW
RESIDENCE**
1200 E. WOODBURY RD.
ALTADENA, CA 91104

DRAWING TITLE :
EXISTING CONDITIONS

DRAWING NUMBER :
A0.30
PROJECT 14,000.06



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	FIRE PREVENTION DIVISION RESUBMITTAL	12.18.2014
	SITE PLAN / OAK TREE REVIEW RESUBMITTAL	12.24.2014
	COUNTY SANITATION DISTRICT SUBMITTAL	01.06.2015
	LAND DEVELOPMENT DEPARTMENT SUBMITTAL	01.13.2015
	PERMIT SET	01.26.2015
	RETAINING WALL SUBMITTAL	02.09.2015
	FOUNDATION PERMIT SUBMITTAL	03.12.2015
	PLANNING FENCE REVISION SUBMITTAL	04.08.2015
	BS FENCE REVISION SUBMITTAL	05.11.2015
	DRIVEWAY SUBMITTAL	12.08.2015

PROJECT TITLE :

CALLOW RESIDENCE

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ALTADENA, CA 91104

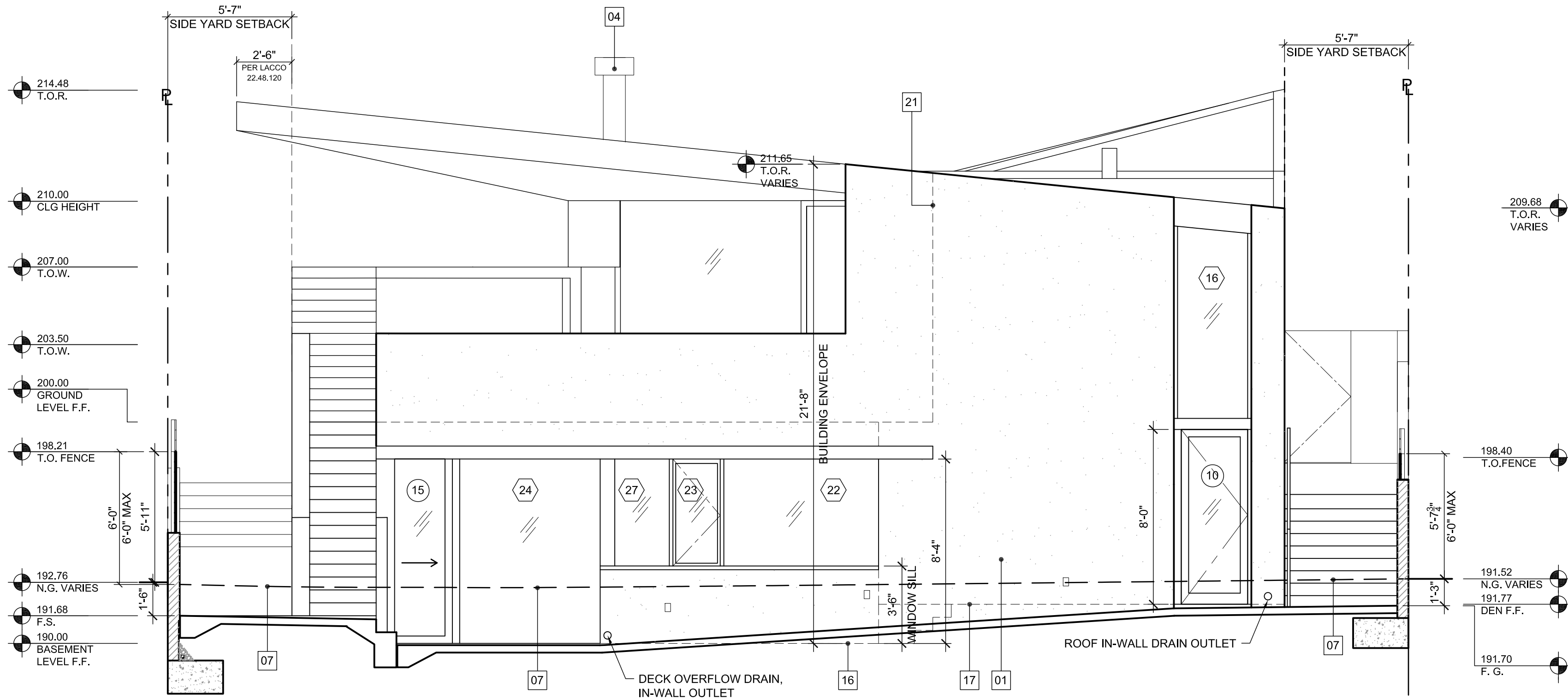
DRAWING TITLE :

EXTERIOR ELEVATIONS

DRAWING NUMBER :

A3.01

PROJECT 14,000.06

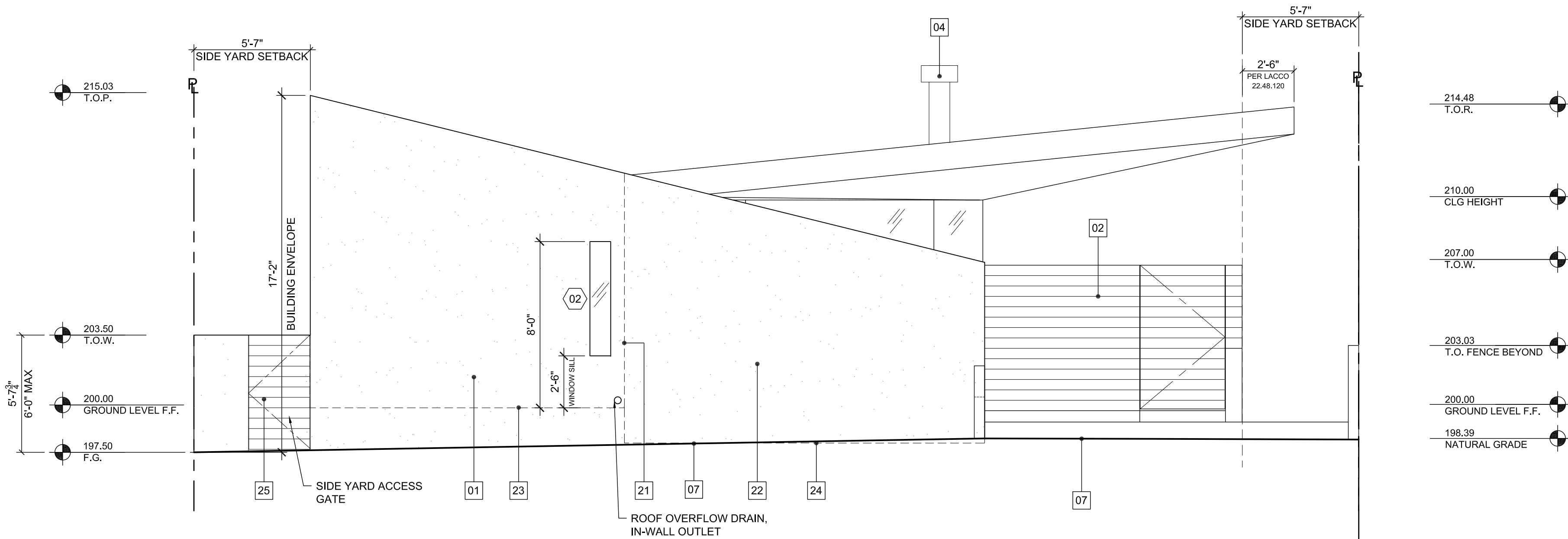


SOUTH ELEVATION

SCALE:

1/4" = 1'-0"

2



NORTH ELEVATION

SCALE:

1/4" = 1'-0"

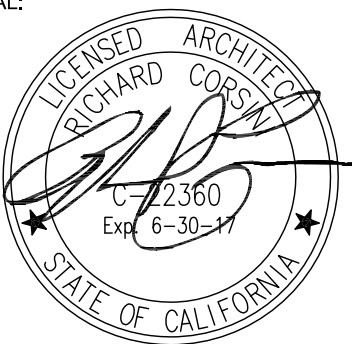
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KEYNOTES

01	EXTERIOR CEMENT PLASTER	09	LINE OF PERMITTED DRIVEWAY	18	LINE OF MECH. BASEMENT F.F. BEYOND
02	1x6 TONGUE & GROOVE DECKING OVER STEEL FRAME FENCE	10	NEW CONCRETE DRIVEWAY	19	RAISED PLANTER
03	METAL GATE, PAINTED	11	LINE SHOWING LOCATION OF ADJACENT OAK TREE #2	20	RECESSED STAINLESS STEEL MAIL BOX
04	CHIMNEY FLUE	12	LINE OF OAK TREE #2 DRIPLINE	21	LINE OF EXTERIOR WALL BEYOND
05	EXTERIOR CEMENT PLASTER O/ 6" CONCRETE BLOCK FENCE WALL, 1 SIDE & TOP ONLY, TOPPED W/ WOOD DECKING OVER 2"x3" STEEL FRAME	13	LINE OF 5'-0" PROTECTION ZONE AREA	22	EXTERIOR WALL, ENTRY COURTYARD ENCLOSURE
06	EXTERIOR CEMENT PLASTER O/ 6" CONCRETE BLOCK FENCE WALL, 2 SIDES & TOP,	14	CMU FENCE TOP; CUMARU DECKING FASTENED TO 2x2 STEEL TUBE W/ COUNTERSUNK BOLT	23	LINE OF GROUND LEVEL F.F. BEYOND
07	LINE OF NATURAL GRADE	15	LINE OF NEW FINISH GRADE/SURFACE BEYOND FENCE	24	LINE OF ENTRY COURTYARD F.F. BEYOND
08	COMPACT FILL	16	LINE OF BASEMENT LEVEL F.F. BEYOND	25	1x6 TONGUE & GROOVE DECKING OVER STEEL FRAME GATE, PAINTED TO MATCH ADJACENT WALL
		17	LINE OF DEN F.F. BEYOND		

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	SITE PLAN REVIEW SUBMITTAL	07.03.2014
	PLAN CHECK SUBMITTAL	08.27.2014
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	GEOTECH & MATERIALS DIVISION SUBMITTAL	11.18.2014
	SITE PLAN REVIEW RESUBMITTAL	11.20.2014
	GRADING RESUBMITTAL	12.04.2014
	PLAN CHECK RESUBMITTAL	12.09.2014
	SITE PLAN REVIEW RESUBMITTAL	12.16.2014
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	SITE PLAN / OAK TREE REVIEW RESUBMITTAL	12.24.2014
	COUNTY SANITATION DISTRICT SUBMITTAL	01.08.2015
	LAND DEVELOPMENT DEPARTMENT SUBMITTAL	01.13.2015
	PERMIT SET	01.26.2015
	RETAINING WALL SUBMITTAL	02.09.2015
	FOUNDATION PERMIT SUBMITTAL	03.12.2015
	PLANNING FENCE REVISION SUBMITTAL	04.08.2015
	BS FENCE REVISION SUBMITTAL	05.11.2015
	DRIVEWAY SUBMITTAL	12.08.2015

PROJECT TITLE :

CALLOW RESIDENCE

1200 E. WOODBURY RD.
ALTADENA, CA 91104

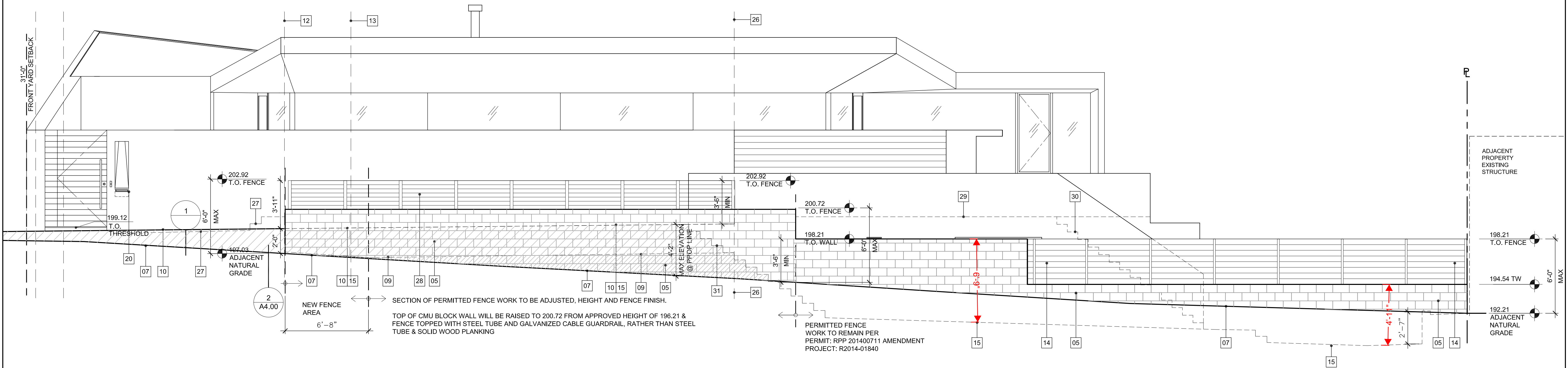
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PERIMETER FENCE EXTERIOR ELEVATIONS

DRAWING NUMBER :

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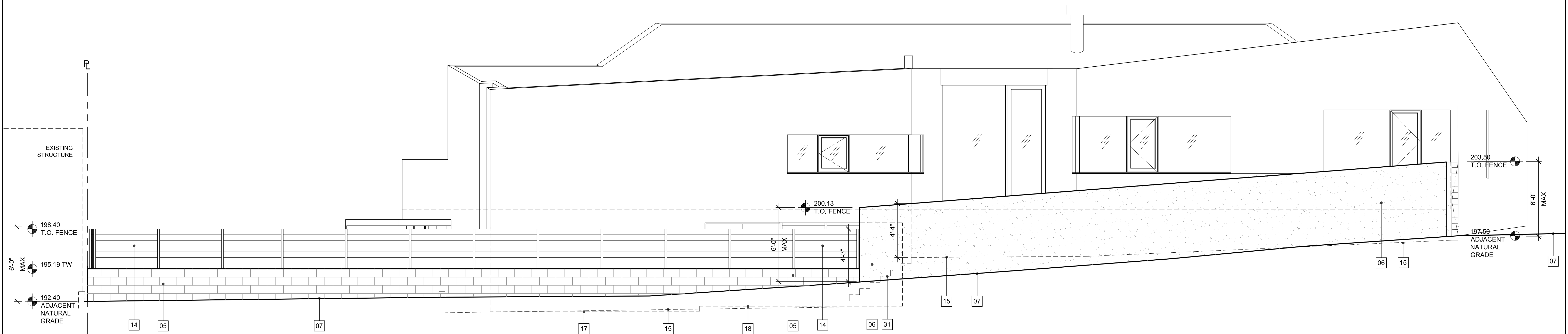
PROJECT 14.000.06



WEST ELEVATION

SCALE:
 $1/4" = 1' 0"$

2



EAST ELEVATION





SCALE:
1/4" = 1'-0"

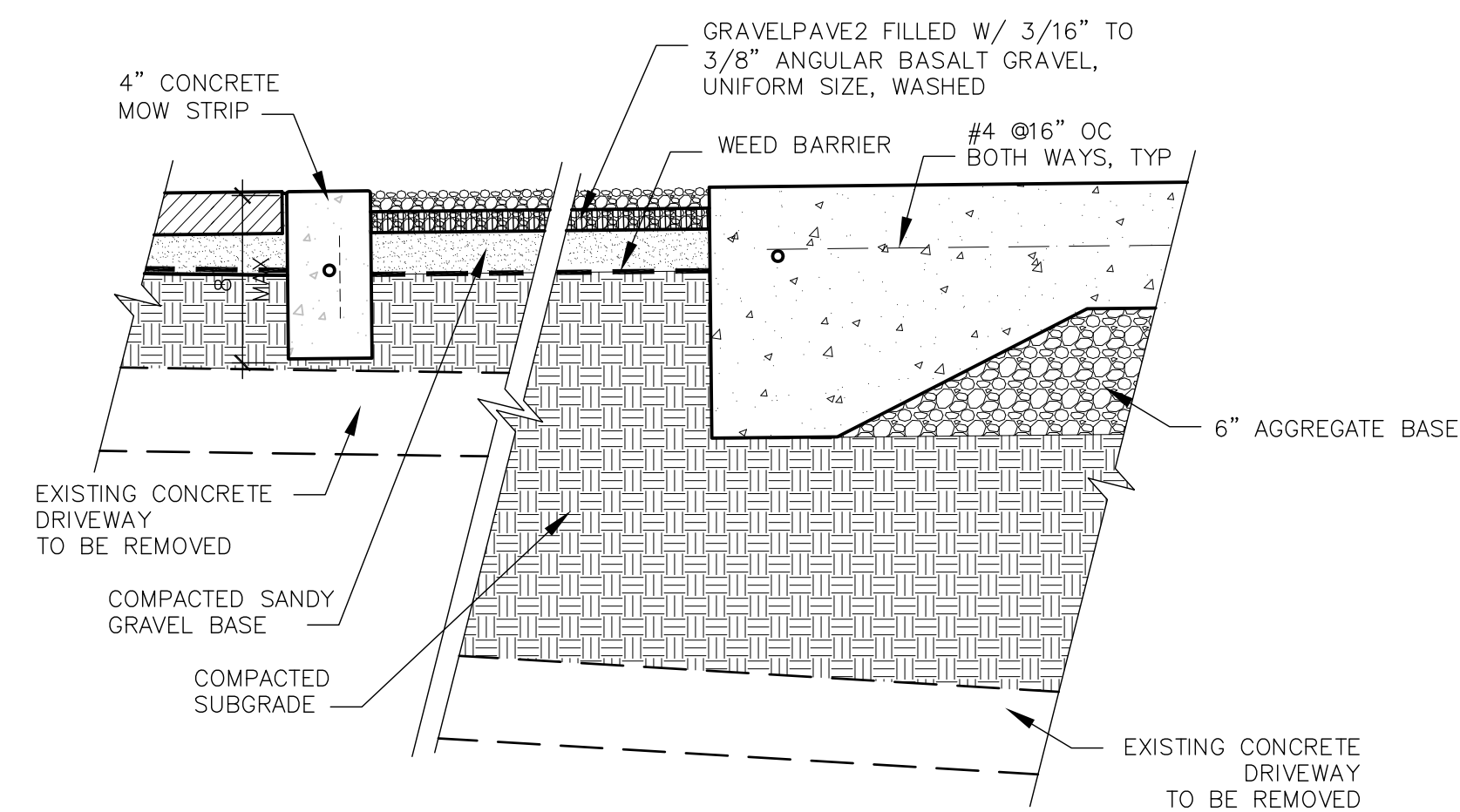
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KEYNOTES

01	EXTERIOR CEMENT PLASTER	08	COMPACT FILL	16	LINE OF BASEMENT LEVEL F.F. BEYOND	25	1x6 TONGUE & GROOVE DECKING OVER STEEL FRAME GATE, PAINTED TO MATCH ADJACENT WALL
02	1x6 TONGUE & GROOVE DECKING OVER STEEL FRAME FENCE	09	LINE OF PERMITTED DRIVEWAY	17	LINE OF DEN F.F. BEYOND		
		10	NEW DRIVEWAY	18	LINE OF MECH. BASEMENT F.F. BEYOND	26	LINE INDICATES WHERE DRIVEWAY ENDS
03	METAL GATE, PAINTED	11	LINE SHOWING LOCATION OF ADJACENT OAK TREE #2	19	RAISED PLANTER	27	LINE OF FINISH SURFACE AT COURTYARD & STEPS INTO HOUSE BEYOND
04	CHIMNEY FLUE			20	RECESSED STAINLESS STEEL MAIL BOX		
05	EXTERIOR CEMENT PLASTER 0/ 6" CONCRETE BLOCK FENCE WALL, 1 SIDE & TOP ONLY	12	LINE OF OAK TREE #2 DRIPLINE	21	LINE OF EXTERIOR WALL BEYOND	28	CMU FENCE TOP: 2x3 STEEL TUBE W/ GALVANIZED CABLE
		13	LINE OF 5'-0" PROTECTION ZONE AREA	22	EXTERIOR WALL, ENTRY COURTYARD ENCLOSURE	29	LINE OF DECK & UTILITY AREA F.F. BEYOND
06	EXTERIOR CEMENT PLASTER 0/ 6" CONCRETE BLOCK FENCE WALL, 2 SIDES & TOP,	14	CMU FENCE TOP: CUMARU DECKING FASTENED TO 2x2 STEEL TUBE W/ COUNTERSUNK BOLT	23	LINE OF GROUND LEVEL F.F. BEYOND	30	LINE OF STAIR FROM DECK TO REAR YARD BEYOND
07	LINE OF NATURAL GRADE	15	LINE OF NEW FINISH GRADE/SURFACE BEYOND FENCE	24	LINE OF ENTRY COURTYARD F.F. BEYOND	31	LINE OF STAIR AT SIDE YARD BEYOND

HATCH LEGEND

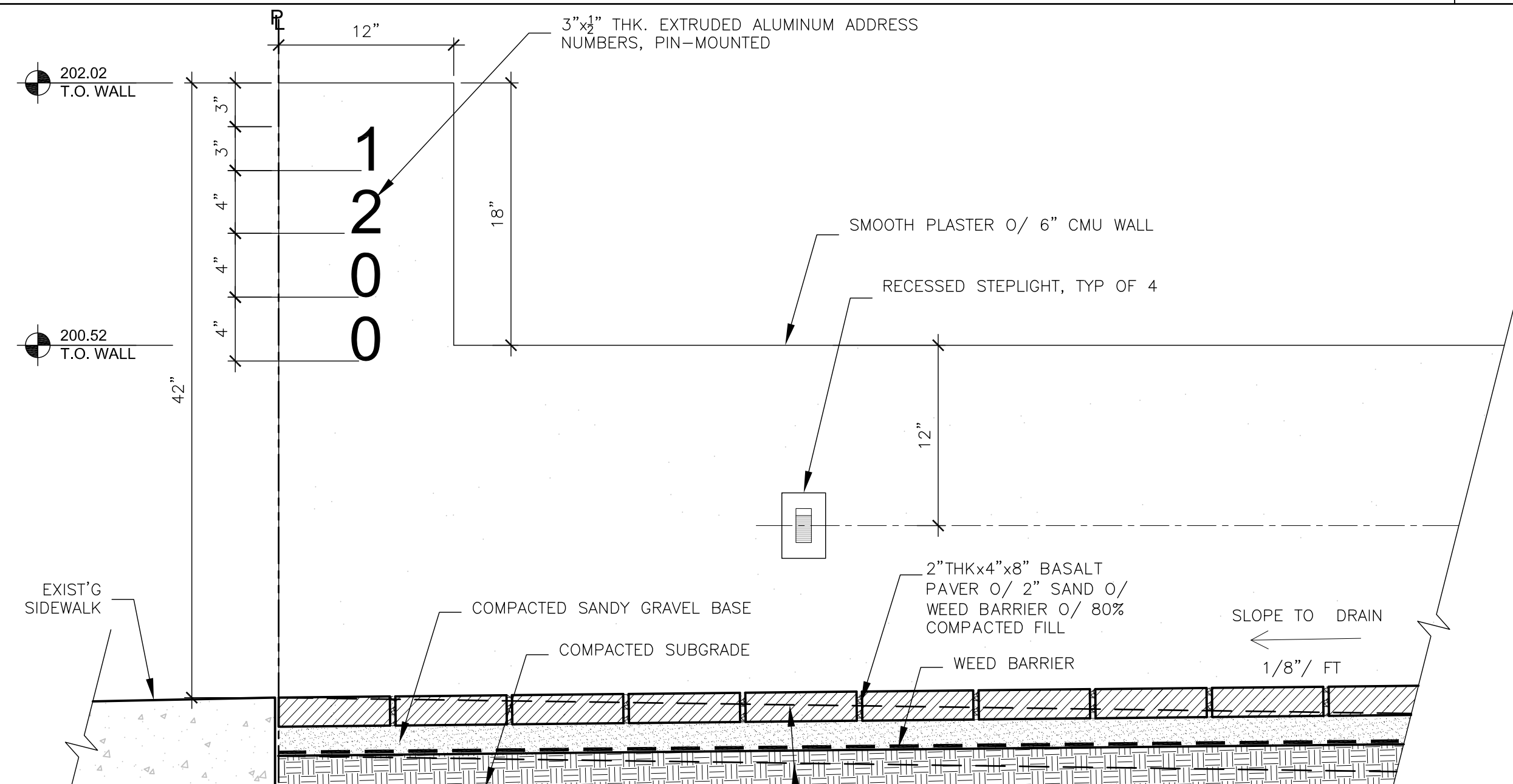
	EXTENT OF FILL AS PROPOSED
	FILL UNDER CURRENT PERMIT
	CMU BLOCK WALL
	CMU BLOCK WALL W/ EXTERIOR CEMENT PLASTER FINISH



PARTIAL DRIVEWAY LONGITUDINAL SECTION

SCALE:

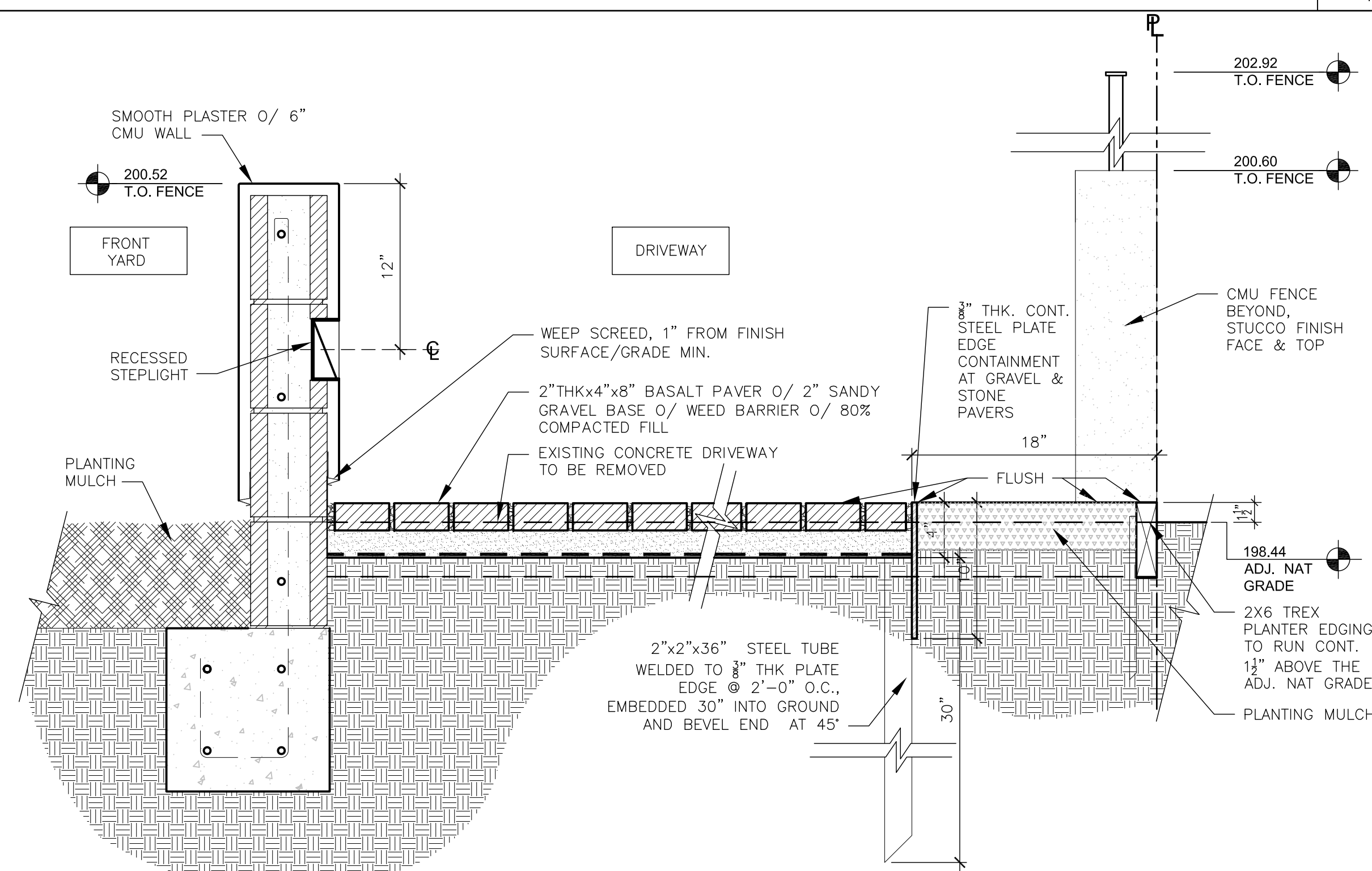
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DRIVEWAY CROSS SECTION AT SIDEWALK

SCALE:

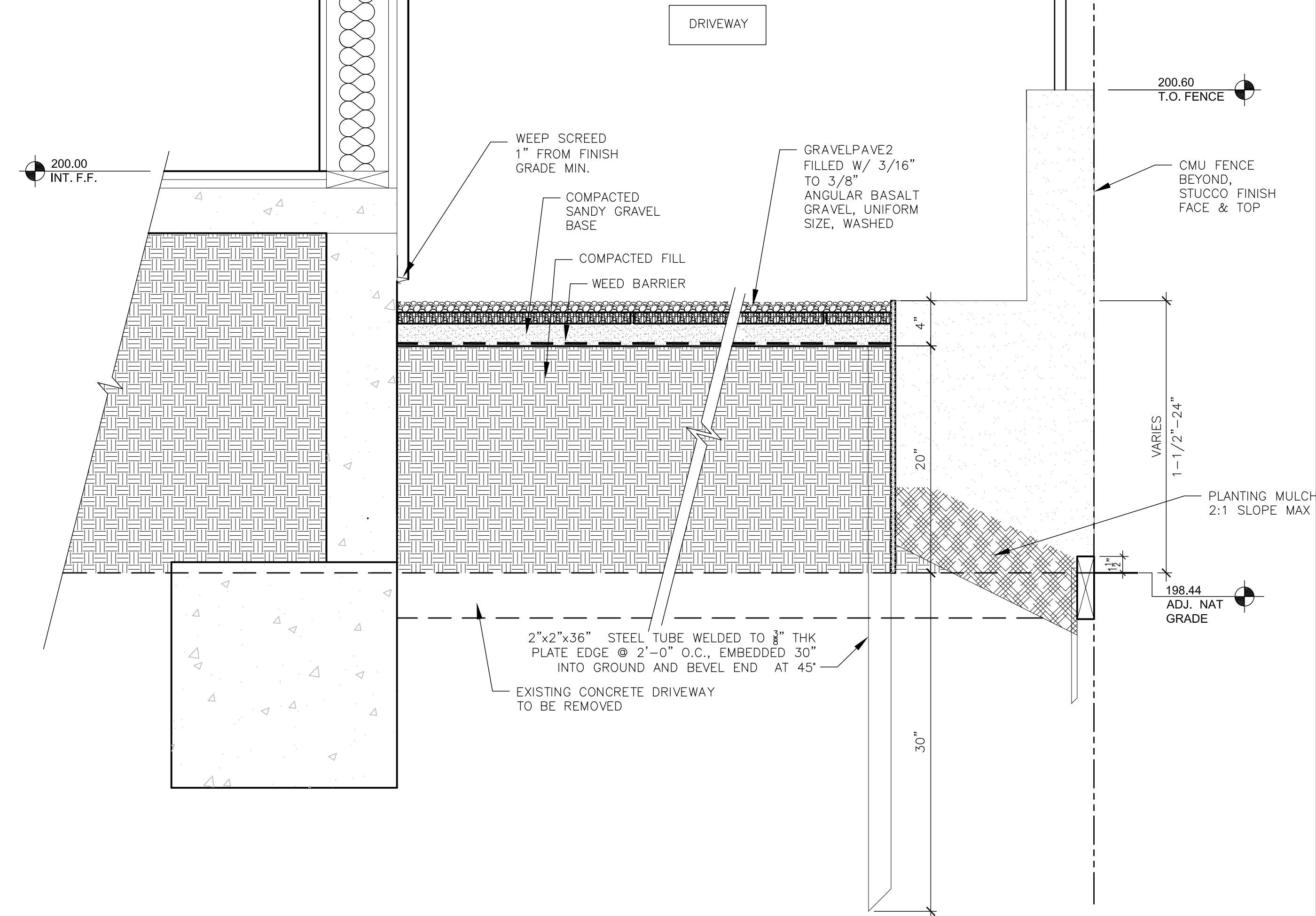
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DRIVEWAY PAVER CROSS SECTION

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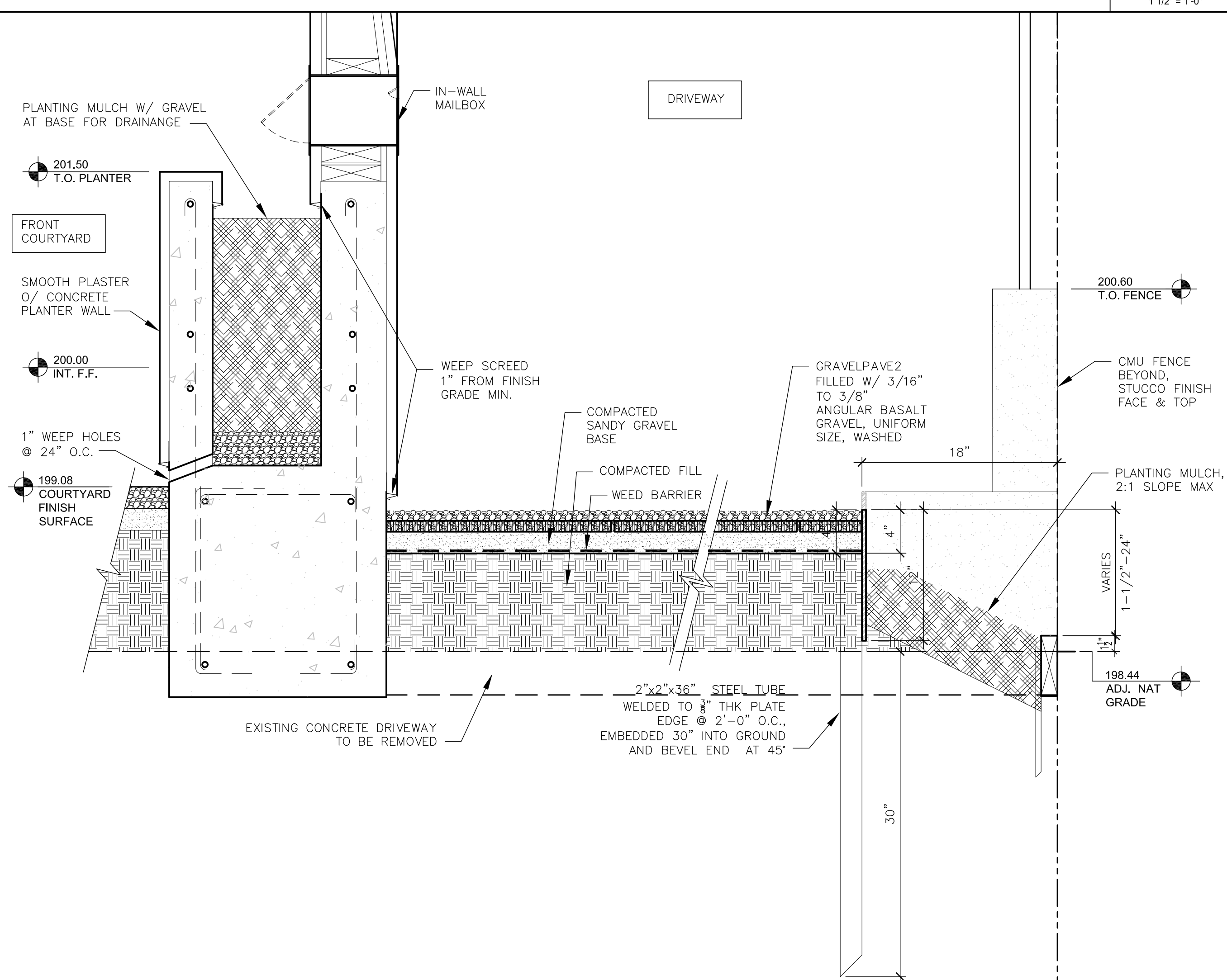
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GRAVEL DRIVEWAY CROSS SECTION

SCALE:

2



GRAVEL DRIVEWAY CROSS SECTION

SCALE:

1

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	PLANNING FENCE REVISION SUBMITTAL	04.08.2015
	BS FENCE REVISION SUBMITTAL	05.11.2015
	DRIVEWAY SUBMITTAL	12.08.2015

PROJECT TITLE :

CALLOW RESIDENCE

1200 E. WOODBURY RD.
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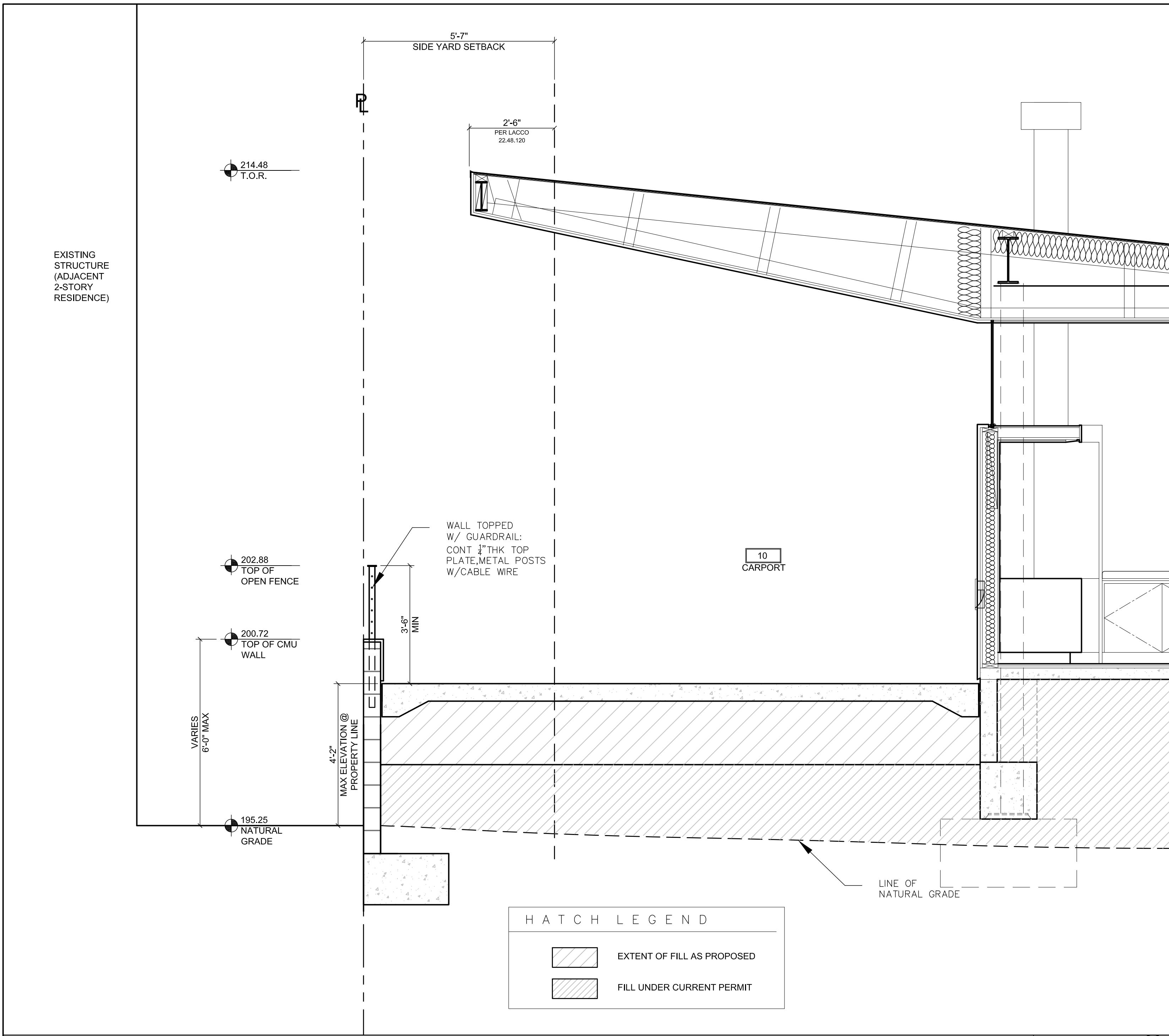
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DRIVEWAY SECTION & DETAILS

DRAWING NUMBER :

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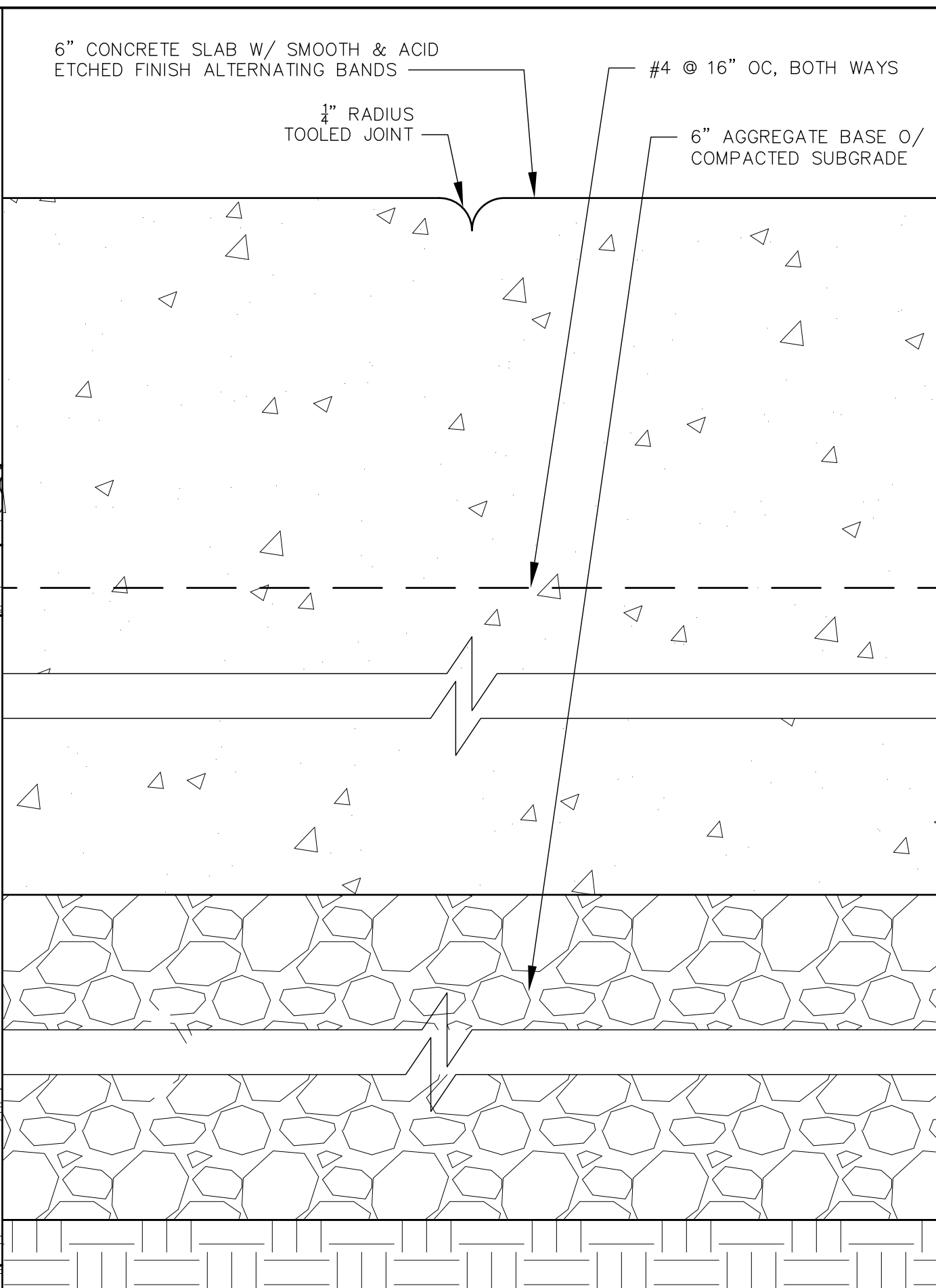
PROJECT 14.000.06



DRIVEWAY SECTION

SCALE:
1/2" = 1'-0"

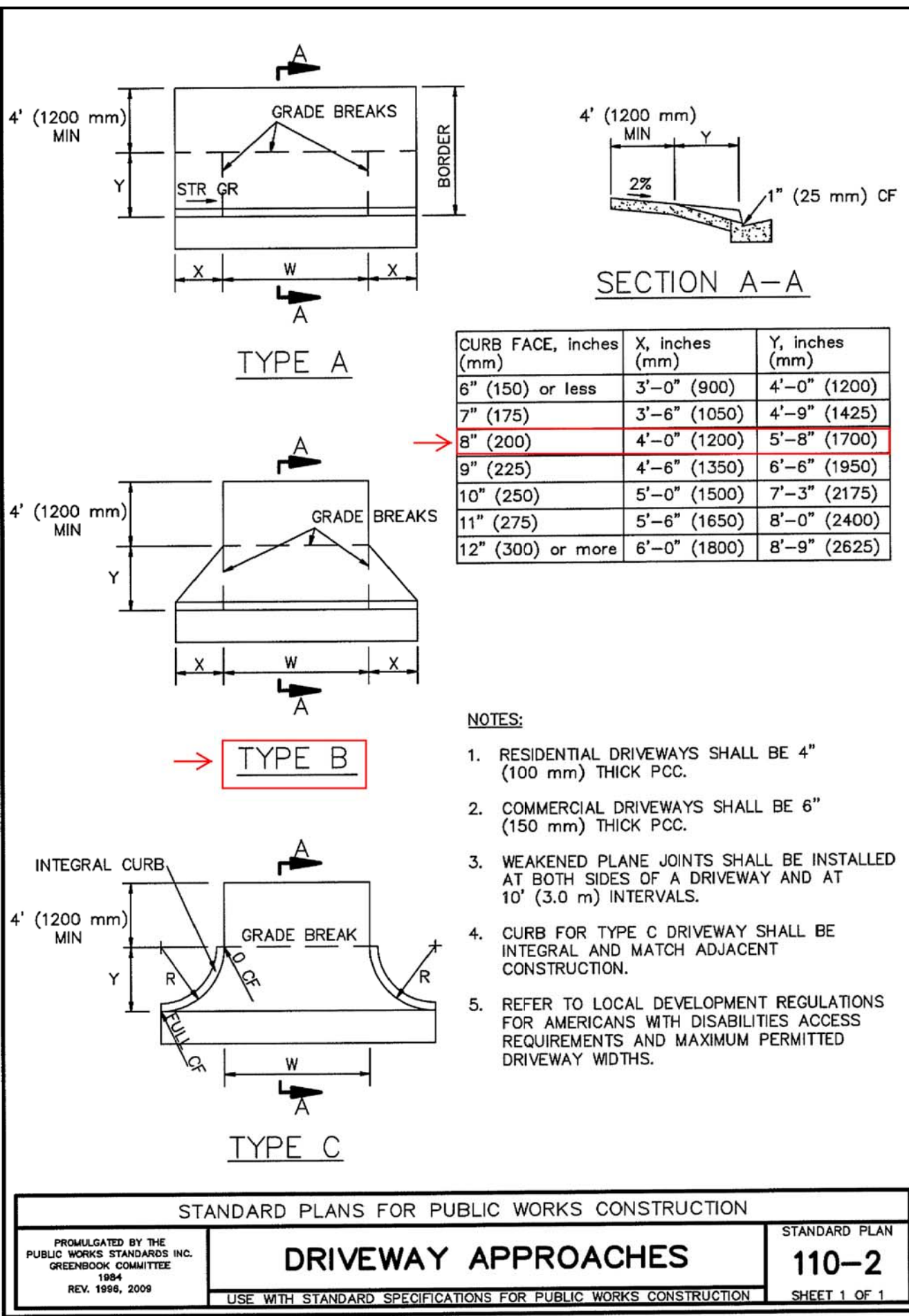
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CONCRETE DRIVEWAY JOINT

SCALE:
FULL SCALE

3



DRIVEWAY APPROACH DETAILS

SCALE:
NTS

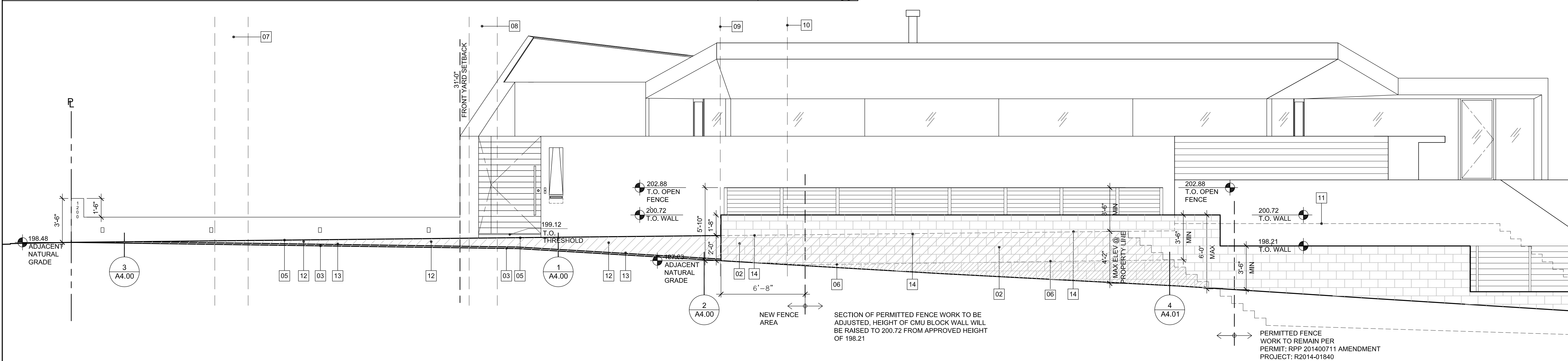
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KEYNOTES

- 01 NOT USED
- 02 NEW CMU WALL: PLASTER FINISH (FACE, & TOP) TOPPED WITH STEEL POSTS & CABLE GUARDRAIL [PARTIAL FENCE WORK IN (E) BUILDING PERMIT]
- 03 LINE OF NATURAL GRADE
- 04 COMPACT FILL
- 05 LINE OF NEW STONE PAVER & GRAVEL DRIVEWAY BEYOND
- 06 LINE OF PERMITTED CONCRETE DRIVEWAY BEYOND
- 07 LINE SHOWING LOCATION OF ADJACENT OAK TREE #1
- 08 LINE SHOWING LOCATION OF ADJACENT OAK TREE #2
- 09 LINE OF OAK TREE #2 DRIPLINE
- 10 LINE OF 5'-0" PROTECTION ZONE AREA
- 11 LINE OF GROUND LEVEL F.F. BEYOND
- 12 CONCRETE GARDEN WALL
- 13 CONT. STEEL PLATE EDGE CONTAINMENT
- 14 LINE OF PROPOSED CONCRETE FINISH SURFACE AT FENCE

HATCH LEGEND

- EXTENT OF FILL AS PROPOSED
- FILL UNDER CURRENT PERMIT



PARTIAL WEST FENCE ELEVATION

SCALE:
1/4" = 1'-0"

1

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	DRIVEWAY SUBMITTAL	12.08.2015

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DRAWING TITLE :

FENCE ELEVATION &
DRIVEWAY DETAILS

DRAWING NUMBER :

A4.01

PROJECT 14,000.06